

**CITY OF ABILENE  
HERITAGE COMMISSION  
AGENDA**

March 20, 2025, at 4:00 p.m.  
Abilene Public Library  
209 NW 4<sup>th</sup> St.  
Abilene, KS 67410

| <b>Agenda Item</b>                                                                                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. Call to Order                                                                                                                                                                                                                                          |
| 2. Roll Call: ___ Nanc Scholl, Chair ___ Nicole Beck, Vice Chair<br>___ Mary Burtzloff ___ Andrew Pankratz ___ Barry Arp<br>___ Kevin Bailey ___ Jeff Radabaugh                                                                                           |
| 3. Approval of Agenda                                                                                                                                                                                                                                     |
| 4. Approval of the Meeting Minutes – February 20, 2025                                                                                                                                                                                                    |
| <b>Business</b>                                                                                                                                                                                                                                           |
| 5. Kansas Preservation Conference May 7-9, 2025 <ul style="list-style-type: none"><li>• <a href="https://www.kansashistory.gov/p/kansas-preservation-conference/14644">https://www.kansashistory.gov/p/kansas-preservation-conference/14644</a></li></ul> |
| 6. Heritage Commission Goals for 2025                                                                                                                                                                                                                     |
| 7. National Preservation Month - May                                                                                                                                                                                                                      |
| 8. Administrative Review permit approvals: <ul style="list-style-type: none"><li>• 303 N Broadway St – building, plumbing, electrical permit</li><li>• 209 NW 4<sup>th</sup> St – fence permit</li></ul>                                                  |
| 9. Comments                                                                                                                                                                                                                                               |
| 10. Adjournment                                                                                                                                                                                                                                           |

**CITY OF ABILENE  
HERITAGE COMMISSION  
MEETING MINUTES**

**February 20, 2025, at 4:00 p.m.  
Abilene Public Library  
209 NW 4<sup>th</sup> St. Abilene, KS 67410**

**Members Present:** Nanc Scholl (Chair), Nicole Beck (Vice Chair), Mary Burtzloff, Kevin Bailey, Andrew Pankratz, Jeff Radabaugh

**Members Absent:** Barry Arp

**Staff Present:** Community Development Director Kari Zook, Administrative Assistant Kellie Olson

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**Call to Order**

The meeting was called to order by Chair Scholl at 4:04 p.m.

**Approval of Agenda**

Radabaugh moved to approve the agenda, seconded by Pankratz. Motion carried unanimously 6-0.

**Approval of the Meeting Minutes – October 17, 2024**

Burtzloff moved to approve the minutes as written, seconded by Beck. Motion carried unanimously 6-0.

**Business**

**Annual selection of Chair and Vice Chair**

Motion by Beck to elect Scholl as Chair, seconded by Pankratz. Motion carried unanimously 6-0.

Motion by Pankratz to elect Beck as Vice Chair, seconded by Radabaugh. Motion carried unanimously 6-0.

**Administrative Review permit approvals:**

- 419 N Broadway – AFD building permit
- 302 N Vine – roof permit
- 109 NW 3<sup>rd</sup> St – right-of-way permit
- 206 NW 2<sup>nd</sup> St, 309 N Buckeye Ave, 307 N Spruce St, 404 N Broadway St – right-of-way permits

**Comments**

- The 2024 Heritage Commission Annual Summary Report was distributed for review. This report was presented to the City Commission on February 10, 2025.
- Staff will email all members the information for the State Preservation Conference in Topeka May 7-9, 2025.
- May Preservation month collaboration with the Dickinson County Historical Society was discussed. When event details are finalized, members will present that information at the next meeting to determine our financial contribution.

**Adjournment**

Beck made a motion to adjourn at 4:21 p.m., seconded by Bailey. Motion carried unanimously 6-0.

Minutes Approved,

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Nanc Scholl, Chair  
Nicole Beck, Vice Chair  
Heritage Commission

Attest:

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Kari Zook  
Community Development Director

**We have new web domains!**  
You can read about the new domains here.

## Kansas Preservation Conference

### We look forward to seeing you in Topeka in 2025!

The Kansas Preservation Conference is returning this spring. Preservationists, historians, architects, and enthusiasts are invited to join us in Topeka from **May 7-9, 2025**. The theme of the conference is Planning for the Future of Preservation, emphasizing the importance of trades, resiliency planning, and engaging the next generation of preservationists.



### Venues

Conference sessions and events will primarily be at The Beacon located at 420 SW 9th St, Topeka, KS 66612. Other trainings and receptions will be throughout Topeka. More information to be announced.

### Lodging

Reserve your room now at the Cyrus Hotel in Downtown Topeka. A block of rooms has been held for conference attendees. The group rate is \$139/night. [\*\*Click here to book your room at the group rate for the Kansas Preservation Conference\*\*](#)

### Schedule at a Glance

*Wednesday, May 7th:*

- Workshops
- Capitol Dome Tours
- Opening Reception

*Thursday, May 8th:*

- Educational sessions
- Featured speaker Andrew Gustafson of the Johnson County Museum presenting on the museum's 2022 special exhibit, *Redlined: Cities, Suburbs, and Segregation*
- Behind the scenes tour of the Kansas State Archives and Kansas Museum of History
- African American History of Topeka bus tour
- Elizabeth and Ethan Finklestein of Cheap Old Houses present an evening event; open to the public

*Friday, May 9th:*

- Educational sessions
- Preservation advocacy panel
- Kansas Preservation Alliance (KPA) Kansas Awards of Excellence

**Registration is now open!**

**Register Now**

## Call for Student Posters

The Kansas State Historic Preservation Office is accepting proposals for a student poster presentation. The poster presentation will consist of an informal evening reception on **Thursday, May 7, 2025**, in downtown Topeka in the evening.

The theme of this year's conference is Preparing for the Future of Preservation. Sessions and activities will focus on the trades, resiliency planning, and the next generation of preservationists.

Applications are open to current undergraduate and graduate students or recent graduates, within the last year. Applicants must be present to stand by their poster during the poster presentation session to engage with conference attendees and provide additional information. Posters should be no larger than 36" x 48".

### Proposal application requirements:

- Complete application
- One-page resume or CV
- Sample one-page visual mock-up or relevant photographs

### Evaluation criteria:

Proposals will be reviewed for relevance to the field of historic preservation, quality and completeness of application, and clarity of the visual component.

### Deadline:

April 1, 2025

## Submit Here

Previous Conferences  
2024 - Newton  
2023 - Independence  
2021 - Virtual  
2019 - Dodge City  
2018 - Lawrence  
2017 - Wichita  
2016 - Abilene  
2014 - Emporia  
2013 - Salina  
2012 - Wichita  
2011 - Topeka  
2010 - Newton  
2009 - Topeka  
2008 - Hutchinson  
2007 - Dodge City  
2006 - Lawrence  
2005 - Topeka  
2004 - Wichita  
2002 - Abilene  
2001 - Wichita  
1999 - Topeka  
1997 - Hutchinson  
1994 - Wichita

To learn more about conference information and other educational opportunities hosted by the State Historic Preservation Office offers by following this web page, our [events page](#), or our [Facebook page](#).

### ACKNOWLEDGEMENT

This conference has been financed in part with federal funds from the National Park Service, a division of the United States Department of the Interior, and administered by the Kansas Historical Society. Neither the contents nor the opinions expressed during the conference necessarily reflect the view or policies of the United States Department of the Interior or the Kansas Historical Society.

Permit # **2025-033**  
(Assigned by City of Abilene)



All permits are subject to a 3-14 business day review period.

Please submit this form to:  
Community Development  
419 N Broadway  
Abilene, KS 67410  
785-263-2355

[kolson@abilenecityhall.com](mailto:kolson@abilenecityhall.com)

## Application for Commercial Building Permit: New Builds, Additions, and Alterations

All permits are subject to a 3-14 business day review period. Work shall not commence until an approved permit has been issued.

Building permits will not be approved if any code violations are present on the property.

Work to commence within (30) days of the approval date and be completed within one (1) year. Ref. Code: 2-204

|                                                                                                                                                  |                                                                                                                                                                                                                                                                                                       |                                                                                                                                              |
|--------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Class of Work:</b><br><input type="checkbox"/> New Build <input type="checkbox"/> Addition<br><input checked="" type="checkbox"/> Alterations | <b>Permits to include:</b> (Check all that apply)<br><input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> Mechanical <input checked="" type="checkbox"/> Electrical<br><input type="checkbox"/> Roofing <input type="checkbox"/> Sidewalk <input type="checkbox"/> Driveway/Curb Cut | <b>District Type:</b> (Check all that apply)<br><input checked="" type="checkbox"/> Historic District<br><input type="checkbox"/> Floodplain |
|--------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|

Project Site Address: 303 N Broadway, Abilene, KS 67410

Property Owner: Rackets Tap House, Inc. --Trevor Witt

Property Owner Phone/E-mail: 785 280 3529 trevor.d.witt@gmail.com

General Contractor/Engineer: \_\_\_\_\_

General Contract Phone/E-mail: \_\_\_\_\_

Describe Work: Add walls in north basement to increase customer seating, add employee bathroom upstairs

Value of Work: \$ 14,000

**Call 1-800-DIG-SAFE (Required before digging begins)**

**Site Plan attached: Required**

See the 'Site and Building Plan Requirements' guide for requirements.

**Building Plans Attached: Required**

See the 'Site and Building Plan Requirements' guide for requirements.

**Builder Declaration: (List Contractors)**

Electrical, Plumbing, Mechanical, and Roofing Contractors must be licensed in the City of Abilene

Electrical: JAE's Electric

Plumbing: Quality

Mechanical: \_\_\_\_\_

Roofing: \_\_\_\_\_

Driveway/Curb Cut/Sidewalk: \_\_\_\_\_

**Measurements: (As applicable to the project)**

Living Area: See attached arch. docs      Garage Sq. Ft.: \_\_\_\_\_

Addition Sq. Ft.: \_\_\_\_\_      Total Sq. Ft.: \_\_\_\_\_

Stories/Height: \_\_\_\_\_      Land Area: \_\_\_\_\_

Coverage %: \_\_\_\_\_

Occupant Class: \_\_\_\_\_      Occupant Load: \_\_\_\_\_

ICC Building Type: \_\_\_\_\_      Use of Building: \_\_\_\_\_

**Work Sheet**  
(to be completed by staff)

**Building**

Base Fee \$25

Each Additional \$1,000 x \$3.50 = \$ **45.50**

Additional Inspections \$25

**Electrical**

Base Fee \$25

**Mechanical**

Base Fee \$25

**Plumbing**

Base Fee \$25

Sewer \$10

Septic \$20

**Roofing**

Base Fee \$25

**Driveway/ Curb Cut**

Base Fee \$25

**Sidewalk**

N/A – Cost Share may be available.

**Total Permit Fee: \$ 120.50**

Payments are due at the time of application submission.  
Payments made by credit or debit card are subject to a \$3.95 processing fee.  
All payments are non-refundable.

I certify that I have read this application and state that the above information is correct. As owner or builder, I agree to comply with all city-adopted building codes relating to construction. I acknowledge that the City is not responsible for covenants, easements, or right-of-way related to this application. I understand that I may contact the Register of Deeds office at 785-263-3774 for such information.

I acknowledge receipt of the 'Site/Building Plan requirements' and 'Required Inspections' handouts and agree to comply with all inspection requirements outlined. City Code may be reviewed at [www.abileneks.citycode.net](http://www.abileneks.citycode.net) or the Community Development Department.

Name Printed: Trevor D. Witt

Signature: Trevor D. Witt

Date: 02/21/2025

Builder/Contractor    Agent for Contractor    Owner    Agent for Owner

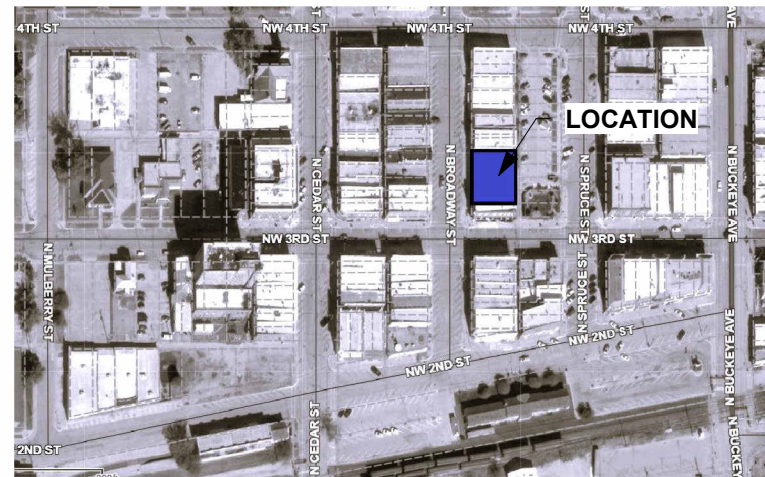
# RACKETS TAP HOUSE

303 N. BROADWAY  
ABILENE, KS 67410

## PHASE 2 - PERMIT SET



VICINITY MAP - ABILENE, KS



### PROJECT TEAM

**OWNER + CONTRACTOR**  
RACKETS TAP HOUSE  
303 N BROADWAY  
ABILENE, KS  
TREVOR WITT  
PHONE: (785) 280-3529

**ARCHITECT**  
FOXTAIL STUDIOS LLC  
510 TOM SMITH CIR.  
ABILENE, KS  
KRISTYN ANDERSON  
PHONE: (641) 799-6733

**PLUMBING**  
DESIGN BUILD WORK  
PERMITTED SEPARATELY AS REQUIRED

**MECHANICAL**  
DESIGN BUILD WORK  
PERMITTED SEPARATELY AS REQUIRED

**ELECTRICAL**  
DESIGN BUILD WORK  
PERMITTED SEPARATELY AS REQUIRED

**FIRE SPRINKLER**  
DESIGN BUILD WORK  
PERMITTED SEPARATELY AS REQUIRED

### INDEX LIST

|       |                     |            |
|-------|---------------------|------------|
| A.101 | BASEMENT FLOOR PLAN | 2025.01.21 |
| A.102 | LEVEL 1 FLOOR PLAN  | 2025.01.21 |
| A.110 | BASEMENT RCP        | 2025.01.21 |
| A.401 | ENLARGED RR PLAN    | 2025.01.21 |
| A.500 | DETAILS             | 2025.01.21 |
| A.600 | SCHEDULES           | 2025.01.21 |
| G.101 | COVERSHEET          | 2025.01.21 |
| G.102 | CODE STUDY          | 2025.01.21 |
| G.103 | CODE STUDY          | 2025.01.21 |

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered architect under the laws of the state of Kansas.  
License expiration date: 06/30/2024

**Kristyn Anderson, AIA, Kansas License #7854**  
Foxtail Studios LLC

*Kristyn Anderson*

Pages or sheets covered by this seal: See General and Architectural Indexes  
Date Issued: 2025.01.21

FOR PERMIT

## FOXTAIL STUDIOS LLC

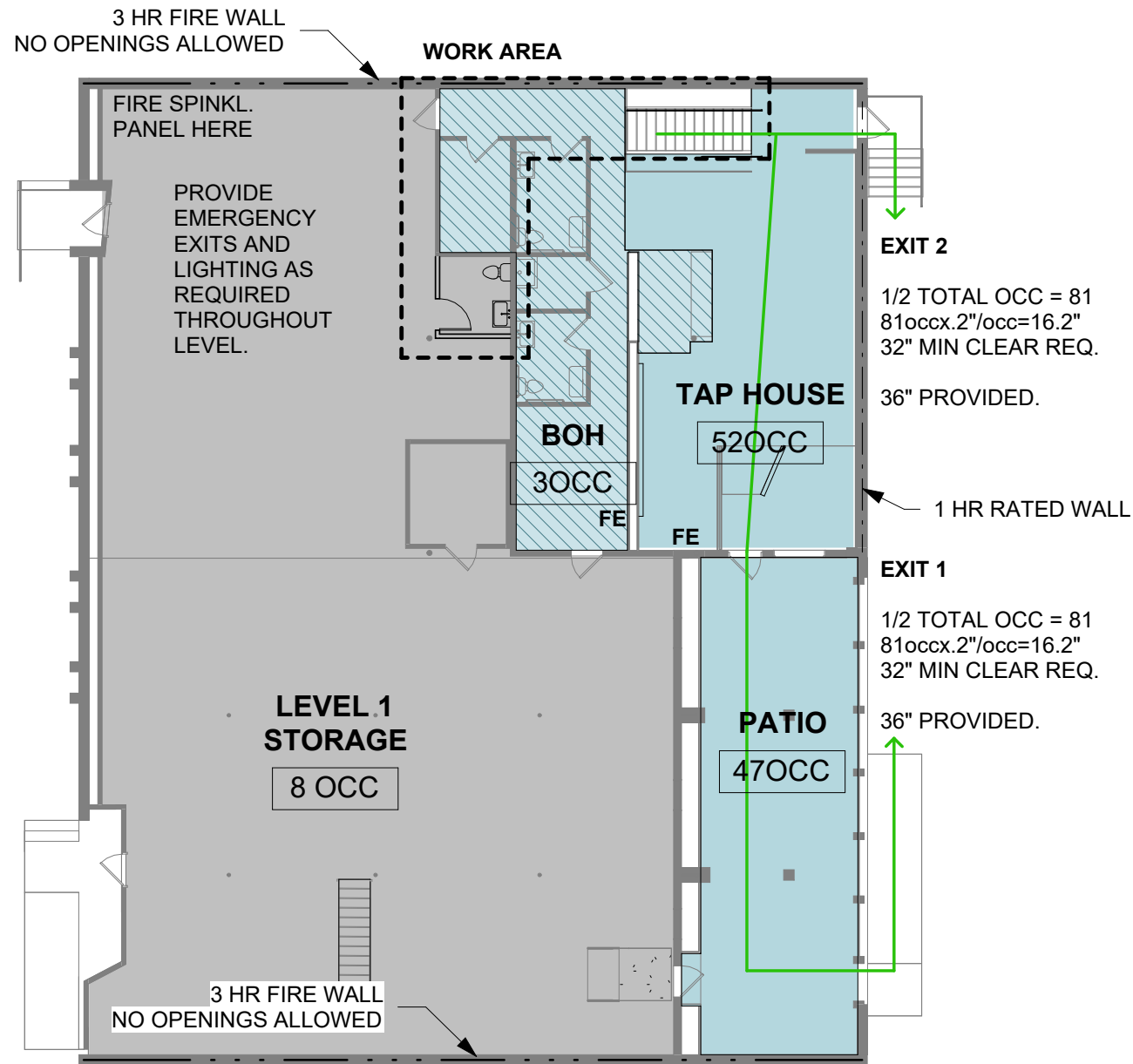
CONNECT@FOXTAILSTUDIOSARCH.COM  
PO BOX 54 | ABILENE, KS 67140

RACKETS TAP HOUSE  
303 N. BROADWAY  
ABILENE, KS 67410  
PROJECT NO. 2023.02

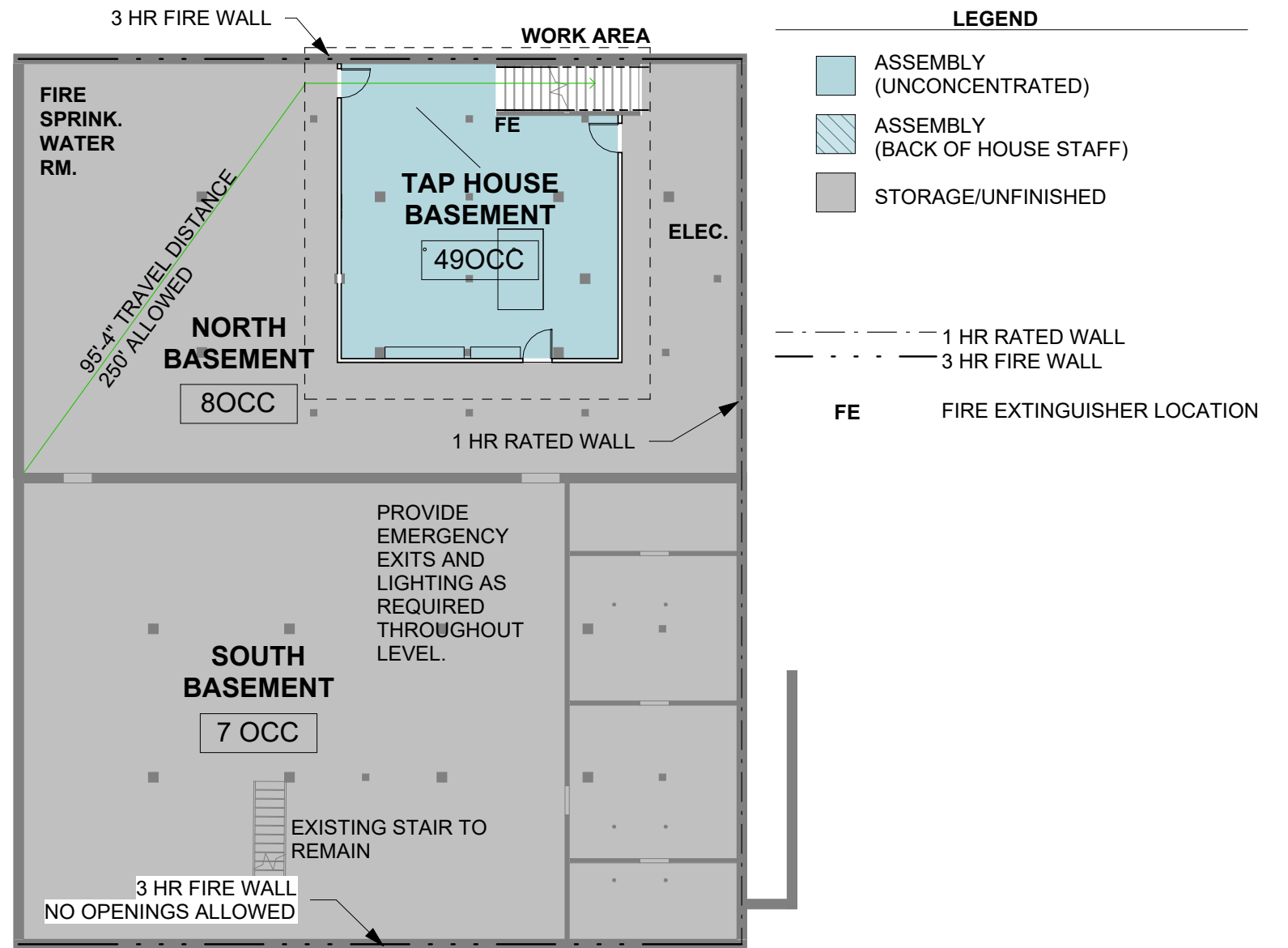
PERMIT SET 2025.01.21  
No. Description Date

## G.101

COVERSHEET



① CODE PLAN - LEVEL 1  
1/16" = 1'-0"



**LEGEND**

- ASSEMBLY (UNCONCENTRATED)
- ASSEMBLY (BACK OF HOUSE STAFF)
- STORAGE/UNFINISHED

--- 1 HR RATED WALL  
- - - 3 HR FIRE WALL

FE FIRE EXTINGUISHER LOCATION

② CODE PLAN - BASEMENT  
1/16" = 1'-0"

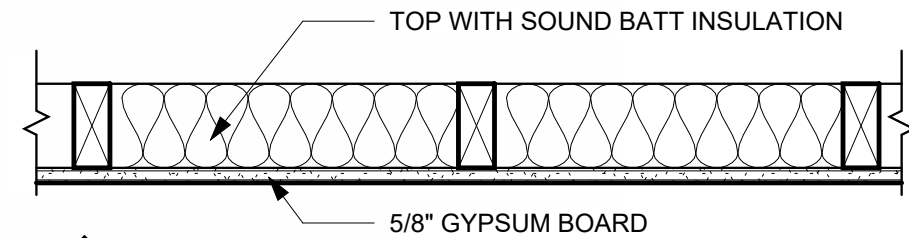
FOR PERMIT

**OCCUPANCY COUNT**

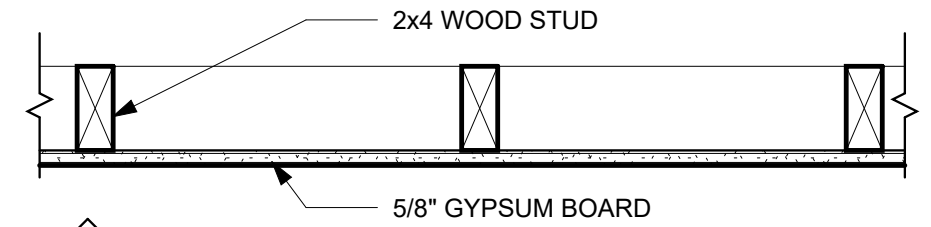
| NAME                    | TYPE | STORY    | AREA (SF) | AREA PER PERSON/SQ | OCCUPANCY  |
|-------------------------|------|----------|-----------|--------------------|------------|
| NORTH BASEMENT          | S-2  | BASEMENT | 2222      | 300                | 7.41       |
| SOUTH BASEMENT          | S-2  | BASEMENT | 3,431     | 500                | 6.86       |
| TAP HOUSE BASEMENT      | A-2  | BASEMENT | 733       | 15                 | 48.87      |
| TH BOH (BACK OF HOUSE)  | A-2  | LEVEL 1  | 564       | 200                | 2.82       |
| TAP HOUSE               | A-2  | LEVEL 1  | 776       | 15                 | 51.73      |
| PATIO                   | A-2  | LEVEL 1  | 701       | 15                 | 46.73      |
| <b>WORK AREA</b>        |      |          |           |                    | <b>164</b> |
| <b>OUT OF WORK AREA</b> |      |          |           |                    | <b>8</b>   |
| LEVEL 1 UNFINISHED      | S-2  | LEVEL 1  | 4000      | 500                | 8.00       |

**PLUMBING CALCS.**

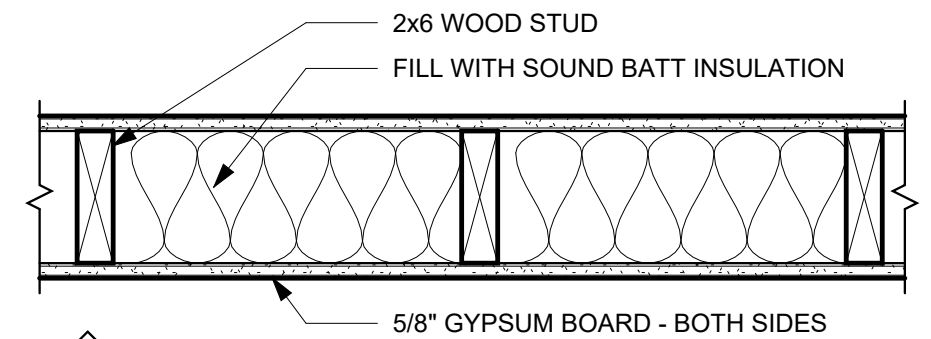
| FIXTURE COUNT    |           |
|------------------|-----------|
| A-2 OCCUPANTS =  | 150 TOTAL |
| WC 1 PER 75 =    | 2.00      |
| LAV 1 PER 75 =   | 2.00      |
|                  |           |
| S-2 OCCUPANTS =  | 22 TOTAL  |
| WC 1 PER 100 =   | 0.22      |
| LAV 1 PER 100 =  | 0.22      |
|                  |           |
| MINIMUM REQUIRED |           |
| WC =             | 2.22      |
| LAV =            | 2.22      |
| SERVICE SINK =   | 1         |
|                  |           |
| PROVIDED         |           |
| WC =             | 3         |
| LAV =            | 3         |
| BOTTLE FILLER =  | 1         |
| SERVICE SINK =   | 1         |



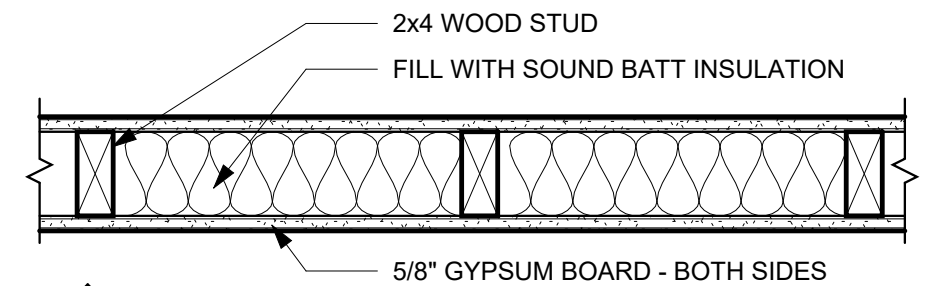
**601**  
 2X GYPSUM DROP CEILING  
 NOT RATED  
 PROVIDE MOISTURE RESISTANT GYPSUM AT WET LOCATIONS



**60C**  
 2X WALL FURRING  
 NOT RATED  
 PROVIDE MOISTURE RESISTANT GYPSUM AT WET LOCATIONS



**60B**  
 2X6 WOOD WALL  
 NOT RATED  
 PROVIDE MOISTURE RESISTANT GYPSUM AT WET LOCATIONS

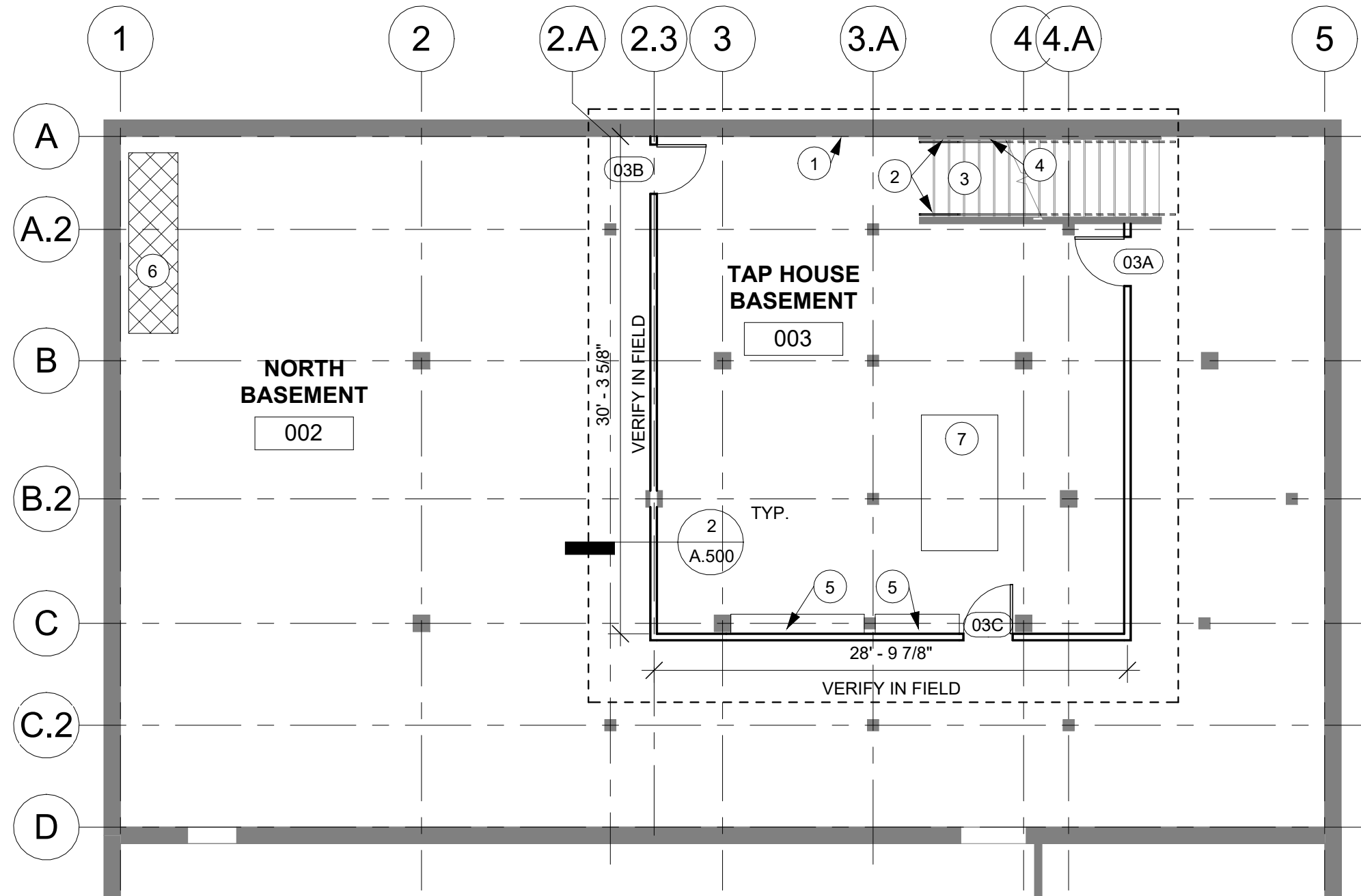


**60A**  
 2X4 WOOD WALL  
 NOT RATED  
 PROVIDE MOISTURE RESISTANT GYPSUM AT WET LOCATIONS

○ ASSEMBLIES  
 1 1/2" = 1'-0"

FOR PERMIT

All walls built so they are >18inches away from a sprinkler head



**FLOOR PLAN KEYNOTES**

- 1 FIRE EXTINGUISHER CABINET. FINALIZE FINAL LOCATION WITH OWNER.
- 2 NEW PAINTED METAL HANDRAIL SEE A.500 FOR DETAILS.
- 3 STAIR TO BE SEALED AND STAINED FINISHED BY OWNER.
- 4 PROVIDE SKIRT BOARD BETWEEN WALL FINISHE AT TOP OF STAIR. FINISH TO MATCH STAIR STAIN.
- 5 SALVAGED WOOD SHELVING, PAINT WALL BEHIND TO MATCH CEILING. MOUNTED AS REQUIRED FOR ATTACHMENT.
- 6 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN WITH ACCESS. PROVIDE SIGNAGE ON DOOR FOR IDENTIFICATION.
- 7 POOL TABLE PROVIDED BY OWNER.

**GENERAL NOTES**

- A VERIFY DIMENSIONS AND HIDDEN CONDITIONS WHERE NEW CONSTRUCTION CONNECTS WITH EXISTING THROUGHOUT.
- B DIMENSIONS AT WALLS: DIMENSIONS ARE GIVEN TO FACE OF FRAMING AND CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.
- C DIMENSIONS AT CRITICAL LOCATIONS: CRITICAL DIMENSIONS MAY BE GIVEN TO FINISH FACE OF WALL (GYPSUM BOARD) IN CERTAIN SITUATIONS - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CRITICAL INTERIOR DIMENSIONS ARE MET AND ADJUSTING FRAMING AS REQUIRED BASED ON FIELD CONDITIONS.
- D EXISTING CONSTRUCTION TO REMAIN IS INDICATED WITH GRAY FILL (TYPICAL).
- E NEW INTERIOR PARTITION WALLS SHALL EXTEND FROM FLOOR STRUCTURE BELOW TO BOTTOM OF STRUCTURE/SLAB ABOVE UNLESS NOTED OTHERWISE AS PARTIAL HEIGHT.
- F KEY SPACES ARE DESCRIBED ON EXPANDED PLAN SHEETS, REFERENCED FROM THE OVERALL FLOOR PLAN (TYPICAL).
- G PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRESTOPPED AND/OR DAMPERED AS REQUIRED BY CODE. EACH SUBCONTRACTOR TO PROVIDE OWN FIRESTOPPING WORK.
- H ALL NEW WALLS SHALL BE TYPE 60A UNLESS NOTED OTHERWISE.
- I FLOORING IN WORK AREA TO BE CON-1, UNLESS NOTED OTHERWISE.
- J COORDINATE ALL WORK WITH ELECTRICAL, PLUMBING, AND MECHANICAL PLANS. FIXTURES AND DUCTS ARE INDICATED ON ARCHITECTURAL DRAWINGS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED PRIOR TO INSTALLATION.
- K PROVIDE SOUND BATT INSULATION BETWEEN BATHROOMS AND ADJACENT SPACES.
- L EXISTING FLOOR STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE. PREPARE AS NOTED FOR NEW FINISHED FLOOR SURFACE (TYPICAL).
- M ALL SITE WORK, LANDSCAPING, RETAINING, AND PAVING SCOPE IS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR GENERAL REFERENCE ONLY. SCOPE AND DETAILS WILL BE DEFINED BY CIVIL AND STRUCTURAL ENGINEERING. DO NOT USE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION OF SITE WORK.
- N ALL CEILING MATERIALS/HEIGHTS ATTACHED TO UNDERSIDE OF FLOOR/ROOF STRUCTURE UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE INDICATED OFF OF ASSOCIATED FLOOR LEVEL.
- O REFER TO SHEET G.103 ASSEMBLY TYPES.
- P WALL BASE IN WORK AREA TO BE WB-1, UNLESS NOTED OTHERWISE.

1 FLOOR PLAN - BASEMENT  
1/8" = 1'-0"

FOR PERMIT

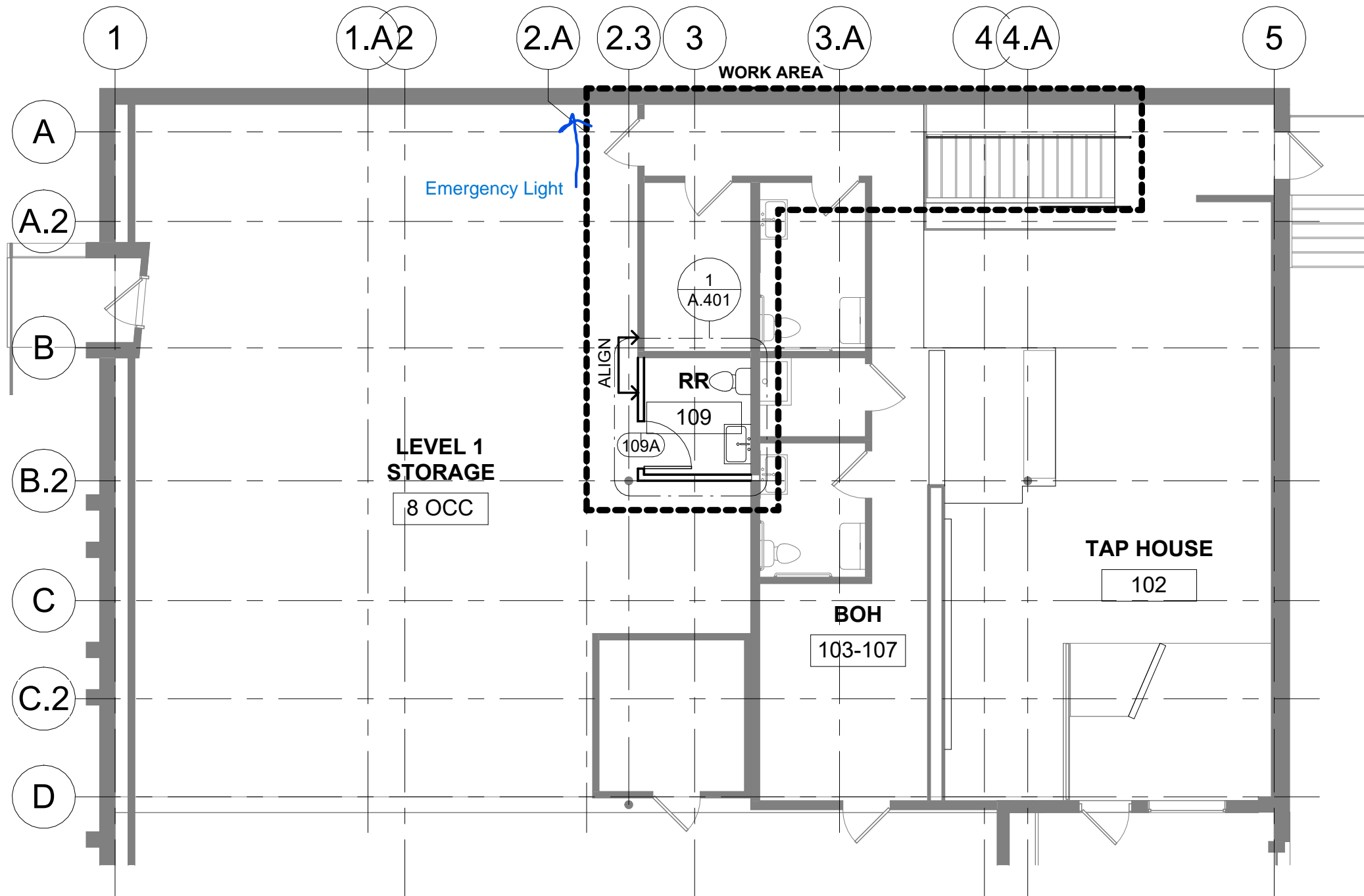
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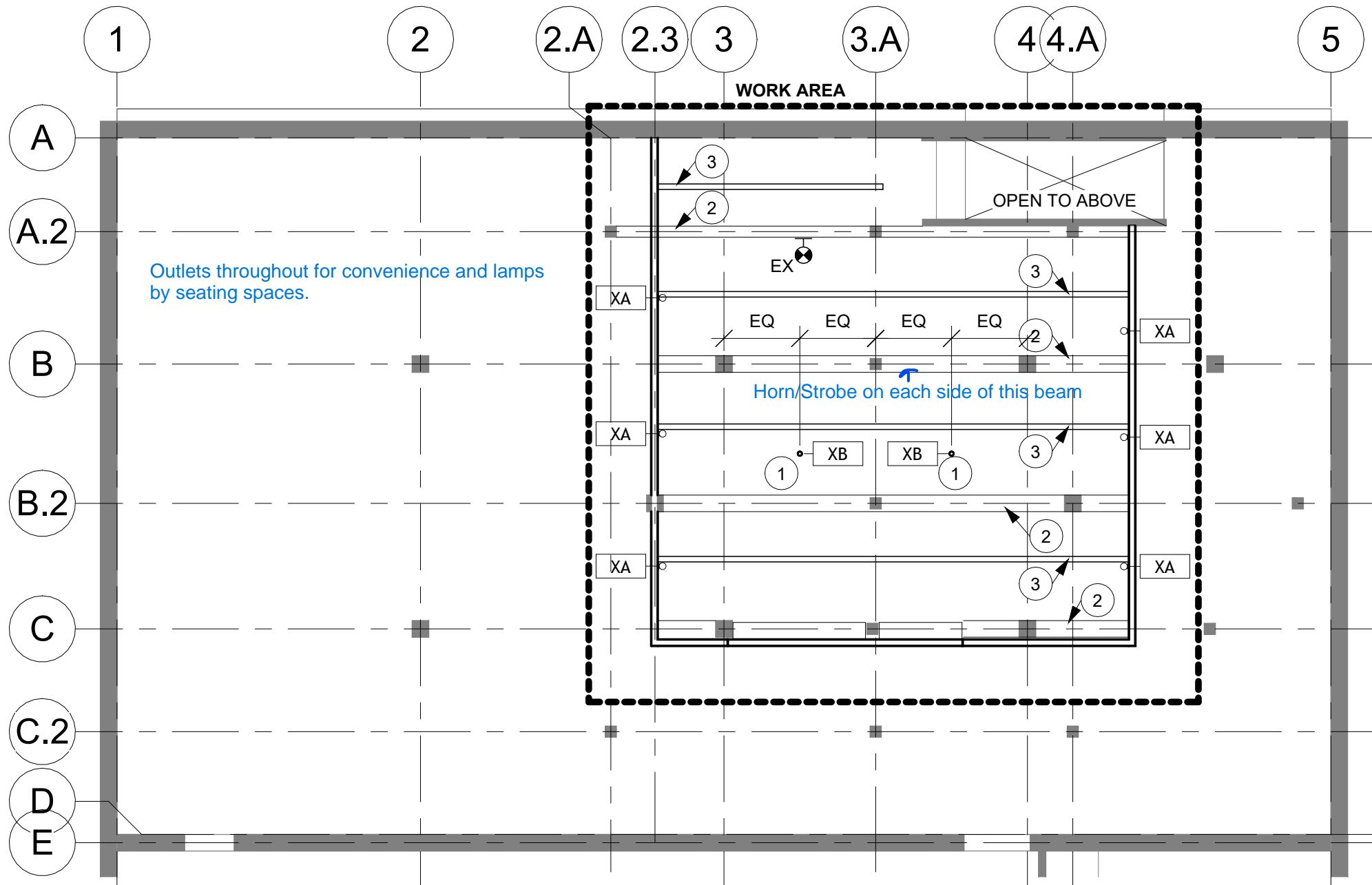
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**FOR PERMIT**



1 PHASE 2 FLOOR PLAN - LEVEL 1  
1/8" = 1'-0"



**RCP KEYNOTES**

- 1 COORDINATE DOWNLIGHT FIXTURE WITH FURNITURE INSTALLATION BELOW.
- 2 EXISTING BEAM TO REMAIN EXPOSED.
- 3 EXISTING FIRE SPRINKLER TO REMAIN. VERIFY NEW WORK SCOPE WITH FIRE SPRINKLER ENGINEER.

**ELECTRICAL FIXTURES**

- XA WALL SCONCE 1 BY OWNER
- XB DOWNLIGHT BY OWNER
- XC BATH VANITY LIGHT BY OWNER
- EX EXIT SIGN BY ELECTRICAL

**NOTE:** FINAL LIGHTING AND ELECTRICAL FIXTURES TO BE COORDINATED WITH OWNER AND ARCHITECT.

PROVIDE ADDITIONAL EMERGENCY LIGHTING AS NEEDED, TYPICAL ALL AREAS.

**CEILING LEGEND**

- NEW PAINTED GYPSUM
- EXISTING FINISH TO REMAIN

SEE SHEET A.101 FOR GENERAL NOTES.

① RCP-BASEMENT  
1/8" = 1'-0"

**FOR PERMIT**

## ENLARGED PLAN KEYNOTES

- 1 TOILET BY PLUMBER.
- 3 SINK AND FAUCETS BY PLUMBER
- 4 PAPER TOWEL DISPENSER BY OWNER
- 5 SOAP DISPENSER BY OWNER
- 6 SELF-CLOSING TRASH RECEPTACLE BY OWNER
- 7 DROP CEILING 601. FILL CAVITY WITH INSULATION.
- 8 BATHROOM EXHAUST FAN BY MECHANICAL.
- 9 PROVIDE IN-WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION.

## ELECTRICAL FIXTURES

|   |    |                            |
|---|----|----------------------------|
| ⊕ | XA | WALL SCONCE 1 BY OWNER     |
| ○ | XB | DOWNLIGHT BY OWNER         |
| ⊞ | XC | BATH VANITY LIGHT BY OWNER |
| ⊞ | EX | EXIT SIGN BY ELECTRICAL    |

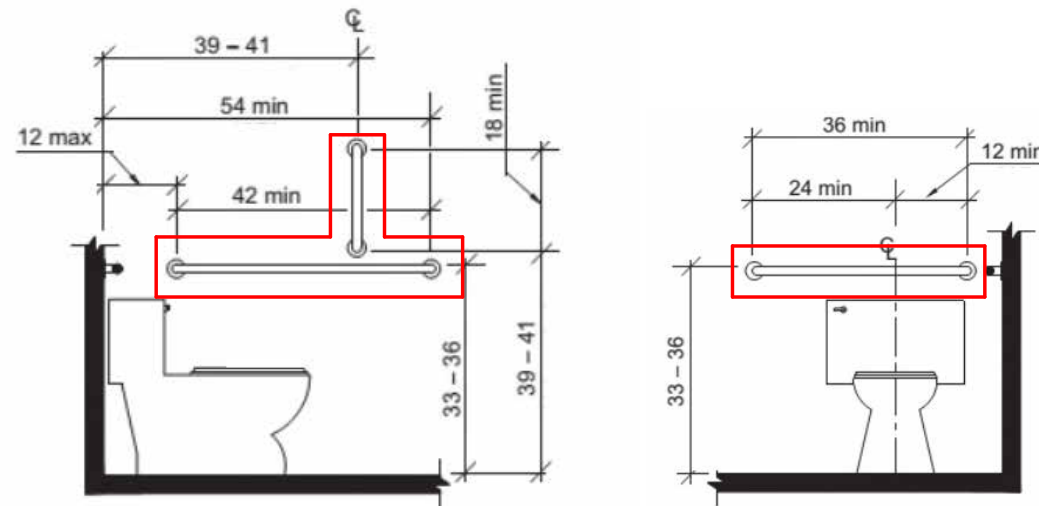
**NOTE:** FINAL LIGHTING AND ELECTRICAL FIXTURES TO BE COORDINATED WITH OWNER AND ARCHITECT.

PROVIDE ADDITIONAL EMERGENCY LIGHTING AS NEEDED, TYPICAL ALL AREAS.

## CEILING LEGEND

|  |                           |
|--|---------------------------|
|  | NEW PAINTED GYPSUM        |
|  | EXISTING FINISH TO REMAIN |

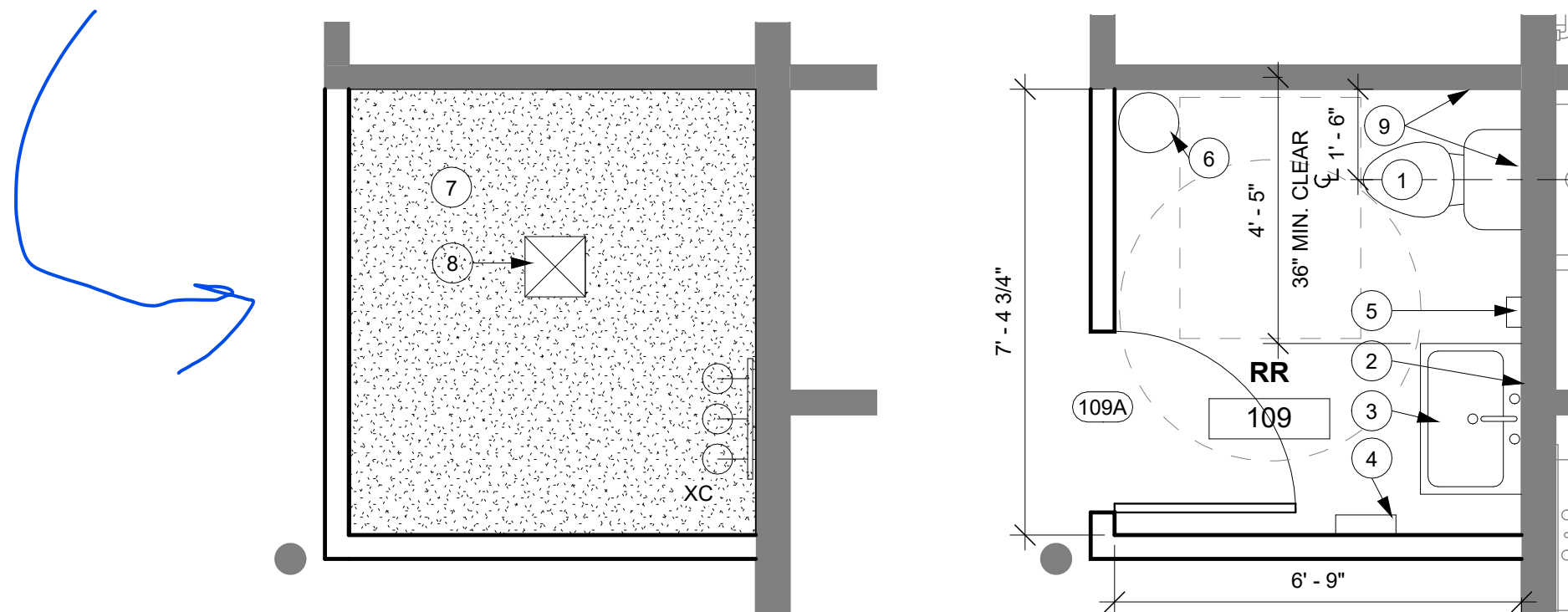
SEE SHEET A.101 FOR GENERAL NOTES.



PROVIDE IN-WALL BLOCKING TO COORDINATE WITH GRAB BAR INSTALLATION REQUIREMENTS. NOTE WC MAY BE MIRRORED IN RELATIONSHIP TO DIAGRAM.

### 3 BLOCKING FOR FUTURE GRAB BARS 3/8" = 1'-0"

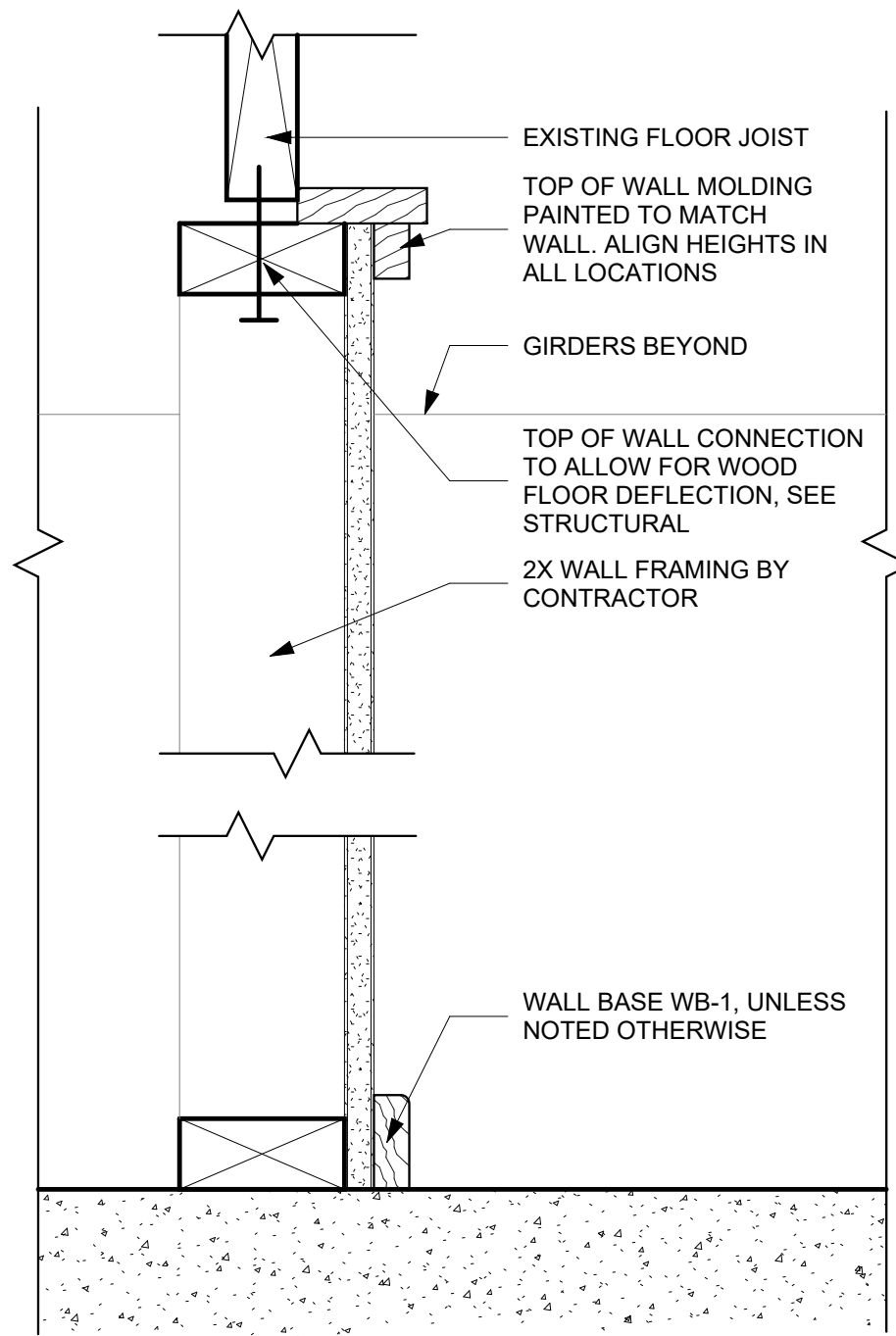
Leave ceiling open, so no need for fire sprinkler adjustment



### 2 RCP-EMPLOYEE RR 3/8" = 1'-0"

### 1 ENLARGED EMPLOYEE RESTROOM 3/8" = 1'-0"

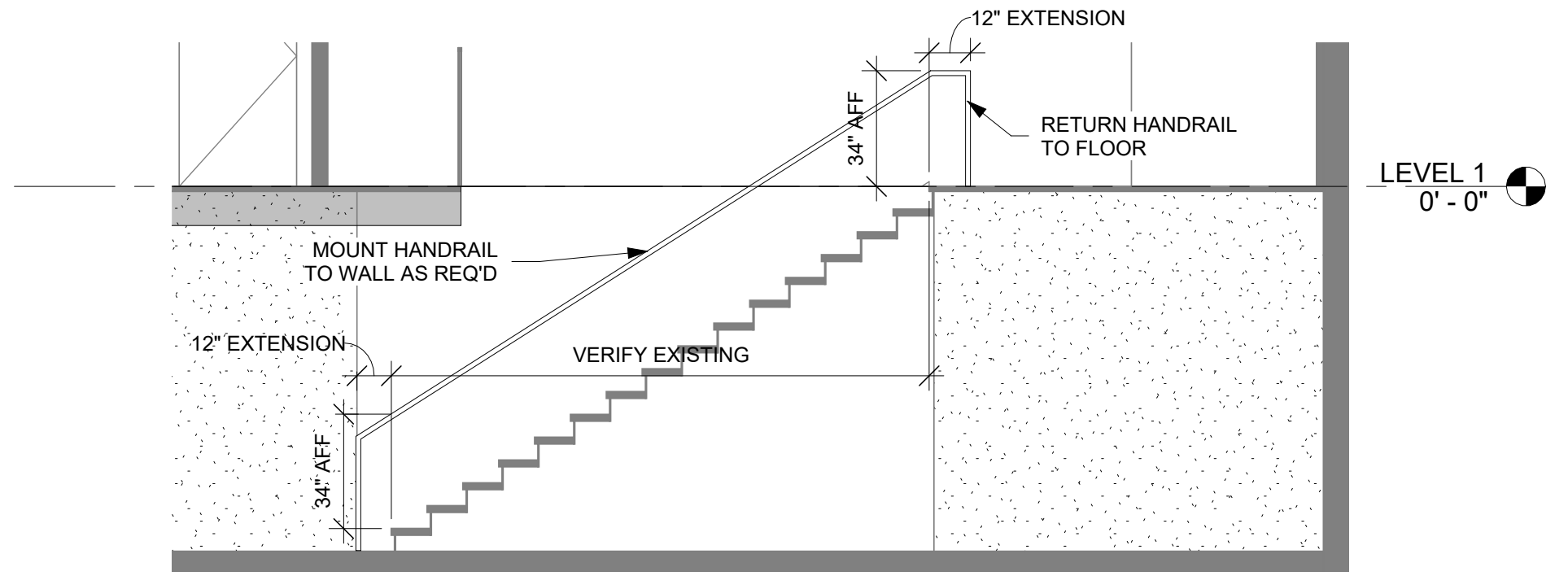
FOR PERMIT



EXISTING FLOOR JOIST  
 TOP OF WALL MOLDING  
 PAINTED TO MATCH  
 WALL. ALIGN HEIGHTS IN  
 ALL LOCATIONS  
 GIRDERS BEYOND  
 TOP OF WALL CONNECTION  
 TO ALLOW FOR WOOD  
 FLOOR DEFLECTION, SEE  
 STRUCTURAL  
 2X WALL FRAMING BY  
 CONTRACTOR

WALL BASE WB-1, UNLESS  
 NOTED OTHERWISE

② TYP. NEW BASEMENT NON-LOAD  
 BEARING WALL SECTION  
 3" = 1'-0"



① NEW HANDRAIL  
 1/4" = 1'-0"

FOR PERMIT

# DOOR SCHEDULE

| MARK | TYPE | DESCRIPTION        | WIDTH   | HEIGHT  | THK         | MATL | FRAME |         | DETAILS |         | FIRE RATING | HW SET | Comments               |
|------|------|--------------------|---------|---------|-------------|------|-------|---------|---------|---------|-------------|--------|------------------------|
|      |      |                    |         |         |             |      | MATL  | HEAD    | SILL    | JAMB    |             |        |                        |
| 03A  | A    | TYP. INTERIOR DOOR | 3' - 0" | 6' - 8" | 0' - 1 3/4" | WD   | WD    | 1/A.600 | -       | 2/A.600 | -           | 1      | SALVAGE EXISTING DOORS |
| 03B  | A    | TYP. INTERIOR DOOR | 3' - 0" | 6' - 8" | 0' - 1 3/4" | WD   | WD    | 1/A.600 | -       | 2/A.600 | -           | 1      | SALVAGE EXISTING DOORS |
| 03C  | A    | TYP. INTERIOR DOOR | 3' - 0" | 6' - 8" | 0' - 1 3/4" | WD   | WD    | 1/A.600 | -       | 2/A.600 | -           | 1      | SALVAGE EXISTING DOORS |
| 109A | A    | TYP. INTERIOR DOOR | 3' - 0" | 6' - 8" | 0' - 1 3/4" | WD   | WD    | 1/A.600 | -       | 2/A.600 | -           | 2      |                        |

### DOOR HARDWARE

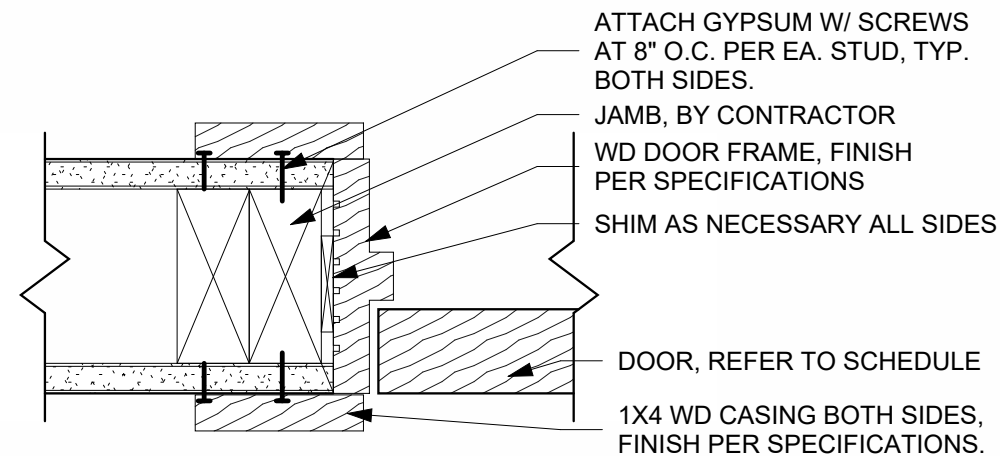
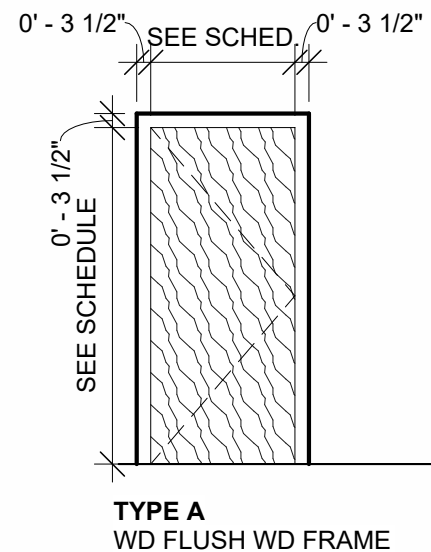
| SET NO. | DOORS         | EA. SET TO HAVE:    | BASIS OF DESIGN    | FINISH          |
|---------|---------------|---------------------|--------------------|-----------------|
| 1       | 03A, 03B, 03C |                     |                    |                 |
|         |               | HINGE (3)           | IVE: 5BB1 4.5X4.5  | 631 - BLACK     |
|         |               | PASSAGE LOCK(1)     | SCH: L9010 SERIES  | 622-BLACK       |
|         |               | WALL STOP (AS REQ.) | IVE: WS406/407CVX  | 630 - STAINLESS |
| 2       | 109A          |                     |                    |                 |
|         |               | HINGE (3)           | IVE: 5BB1 4.5X4.5  | 631 - BLACK     |
|         |               | SURFACE CLOSER (1)  | LNC: 4040XP.REGARM | 693 - BLACK     |
|         |               | PRIVACY LOCK(1)     | SCH: L9040 SERIES  | 622-BLACK       |
|         |               | WALL STOP (AS REQ.) | IVE: WS406/407CVX  | 630 - STAINLESS |

### FINISH SCHEDULE

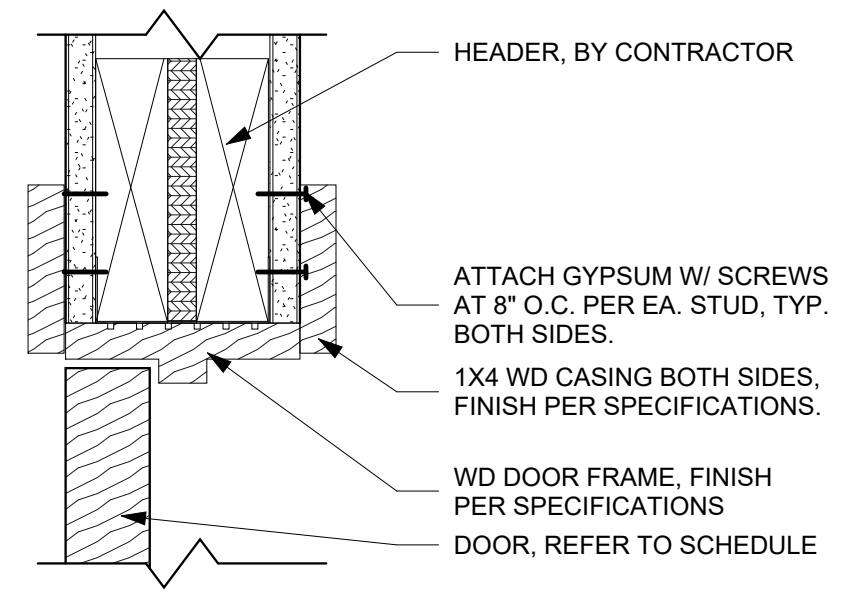
| ROOM NO. | ROOM               | WALL PAINT | WALL BASE | CEILING PAINT | DOOR FINISH | DOOR HARDWARE | FLOOR FINISH |
|----------|--------------------|------------|-----------|---------------|-------------|---------------|--------------|
| 003      | TAP HOUSE BASEMENT | PT-1       | WDB/WD-1  | PT-2          | WD-1        | BLK           | CON          |
| 109      | EMPLOYEE RR        | PT-1       | WDB/WD-1  | PT-2          | WD-1        | BLK           | LVT-1        |

### FINISH SCHEDULE KEY

|     |                     |
|-----|---------------------|
| FT  | FLOOR TILE          |
| PT  | PAINT               |
| WD  | WOOD STAIN          |
| WDB | WOOD BASE           |
| LVT | LUXURY VINYL TILE   |
| BLK | MATTE BLACK         |
| CON | CONCRETE (EXISTING) |



② WD DOOR FRAME @ JAMB  
3" = 1'-0"



① WD DOOR FRAME @ HEAD  
3" = 1'-0"

○ DOOR TYPES  
1/4" = 1'-0"

**FOR PERMIT**

Permit # 2025-044

City owner property - no fee imposed



### APPLICATION FOR FENCE PERMIT

Work shall not commence until an approved permit has been issued. Permits will not be approved if any code violations are present on the property.

|                                                                  |                                                                                                                         |
|------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| <b>Project Site Address:</b> <u>209 NW 4th Abilene, KS 67410</u> | <b>District Type:</b> (Check all that apply)                                                                            |
| <b>Property Owner:</b> <u>City of Abilene</u>                    | <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial |
|                                                                  | <input type="checkbox"/> Floodplain <input checked="" type="checkbox"/> Historic District                               |

**Permit Fee: \$25.00**  
*Payments are due at the time of application submission and do not guarantee approval. Payments made by credit or debit card are subject to a \$3.95 processing fee. All payments are non-refundable.*

**1-800-DIG-SAFE has been contacted:**  YES  NO

Will the fence encroach on any easement:  No  Yes: Type of Easement: \_\_\_\_\_

Purpose of Fence: safety

Material of Fence: metal

Height of Fence: 4 feet Distance from Property Line: on property line

**Site Plan (Required)**  
 Please provide an aerial image of your property. You may obtain an aerial image from the Community Development Department or access one from the Dickinson County Parcel Map at <https://www.dkcocks.gov/gis>. This aerial image should outline your entire property and include any existing buildings and fences.

**On the aerial image, please include the following site plan requirements:**

- **Property outline:** Ensure the image includes the entire property boundary.
- **Existing features:** Clearly mark the locations of all existing buildings and fences.
- **Proposed fence details:** Show the location of the new fence and include:
  - Distance from property lines.
  - Distance from any buildings or structures.
  - Dimensions of the new fence (height, length, etc.).

**Applicant Name:** Wendy Moulton Abilene Public Library  
**Address:** 209 NW 4th Abilene, KS 67410  
**Phone:** 785-263-3082 **Email:** wmoulton@abilenelibrary.org

**Fence Contractor:** Big Red  
**Address:** 2768 Indy Rd. Abilene, KS 67410  
**Phone:** 785-200-0282 **Email:** \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. As owner or builder, I agree to comply with all city-adopted building codes. I acknowledge that the city is not responsible for covenants, easements, or right-of-way related to this application.

Acknowledge receipt of the 'Specifications and Inspections' handout and agree to comply with all inspection requirements outlined

**Name Printed:** Wendy Moulton  
**Signature:** Wendy Moulton **Date:** 2/25/25



Gate on the north